

**Agenda Item 7**  
**McKinley Road Redevelopment Phase Three**  
**New Condominium Building**

Staff Report  
Vicinity Map

Materials Submitted by Petitioner

Application

Statement of Intent

*Description of Exterior Materials*

Proposed Site Plan

Enlarged Site Plan

Color Elevations

*Overall Site Rendering*

Proposed North and South Elevations

Proposed East Elevation

Proposed West Elevation

*Architectural Details and Wall Sections*

*Building Sections*

*Streetscape Elevation – Looking East from McKinley Road*

*Streetscape Elevation – Looking South*

*Streetscape Elevation – Looking North*

*Illustration of Mechanical Screening*

*Proposed Floor Plans*

Conceptual Renderings

*Landscape and Hardscape Plan*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO: Chairman Grieve and members of the Historic Preservation Commission  
DATE: January 22, 2020  
FROM: Jennifer Baehr, Assistant Planner  
SUBJECT: **McKinley Road Redevelopment Phase Three** – New Condominium Building,  
Landscape and Hardscape Plans

### PROPERTY OWNER

City of Lake Forest  
220 Deerpath  
Lake Forest, IL 60045

### PROPERTY LOCATION

Southside of E. Westminster, between  
McKinley Road and Washington Road

### HISTORIC DISTRICTS

East Lake Forest Local and  
National Historic Districts

### CONTRACT PURCHASER

361 Westminster LLC (Todd Altounian 50%, and Peter Witmer 50%)  
1000 N. Western Avenue  
Lake Forest, IL 60645

### PROJECT REPRESENTATIVE

Peter Witmer, architect

### SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness for a new, three story condominium building and landscape and hardscape plans. This property is located in one of the City's Local Historic Districts and therefore, requires design review by the Historic Preservation Commission. Adjacent properties to the north, east and south are also in the Historic District. The adjacent parcels to the west, including the two earlier buildings in this development, are *not* within the Historic District.

The building in this petition constitutes the third and final phase of the McKinley Road Redevelopment. The project achieves a long time City Council goal of providing additional living units near the Central Business District, within walking distance to the train station, the Library, restaurants and retail stores.

### PROPERTY DESCRIPTION

The property is located on the south side of E. Westminster, at the western edge of the East Lake Forest Historic District. This area is identified as a transitional area, an area between more intense uses to the west; the business district and railroad tracks, and single family homes to the east. The subject property was the site of the Quinlan Coach House. The building was adaptively reused as the Masonic Temple, and in its final years, it was the home of the Lake Forest/Lake Bluff Historical Society. The Historic Preservation Commission approved the demolition of the building in June 2016 and the building was removed from the site. Today, the site serves temporarily as the construction and staging area for the development.

## **BACKGROUND**

The first phase of the development, a three story, 13 unit condominium building, is complete and occupied. The second building is under construction. Both the first and second buildings front on McKinley Road, on parcels previously developed with office buildings. The third building is located to the east, on a parcel that is currently owned by the City and under contract to the developers. The third building will serve as a transition between the higher density development to the west and the single family homes immediately to the east.

To date, the Plan Commission has discussed the third phase of the development and taken comments at five separate meetings. The Plan Commission has not yet made any formal recommendation on the project pending review and a recommendation from the Historic Preservation Commission. Prior to forwarding the project to the Historic Preservation Commission for consideration of the design aspects of the building, the architectural details and exterior materials, the Plan Commission worked with the developer, with extensive input from neighboring property owners, to find a conceptual site plan and building massing that achieves the goal of providing an appropriate transition in this area. Through the Plan Commission's work, the third building was reduced in height, configured in a series of masses that step back from the Westminster streetscape and designed with a mansard roof to incorporate the third floor. Intentionally, the third building moves away from the Georgian style of the two earlier buildings in the development to allow it to appear more residential in scale and more aligned with the neighborhood to the north and east. The third building as currently presented evokes the character of the Quinlan Coach House to some extent.

The Plan Commission asked that the importance of the reduced scale and massing of the third building is important and discouraged the Historic Preservation Commission from reverting to discussion of a Georgian style building. Importantly, the level of detailing and the high quality natural materials used in the first two building will carry through on the third building.

The statement of intent and supporting materials submitted by the petitioner are included in the Commissioner's packets. A summary of the project based on the information provided is presented below.

## **STAFF EVALUATION**

### *Site Plan*

The proposed condominium building is located at the east end of the road that enters the development from McKinley Road. The front of the building faces west. The building is set back from Westminster to minimize the appearance of mass along the streetscape as the area transitions into smaller scale residential properties. Access to underground parking is from the west. The garage entrance ramp is not visible from the Westminster streetscape. A landscaped front lawn is located north of the building, adjacent to Westminster. A green space accessible to the public is located to the south of the building, with a sidewalk connection to the Library.

### *Condominium Building*

The proposed building is a three story building that will have up to 8 units total. The units will vary in size from approximately 3,250 square feet to 1,900 square feet. The building roof form is comprised of a mansard style roof and a flat roof with a parapet wall. The west elevation is articulated to read as a row of townhomes, with the intent to provide a transition to the single family

lots to the east. The mass of the building is broken up by the use of recessed entries, porches, balconies and projecting bay windows. High quality materials are proposed for the exterior, consistent with the City's Design Guidelines and, as noted above, consistent with the two earlier buildings.

### *Findings*

A staff review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

#### **Standard 1 – Height.**

A height variance is requested. Due to the grade change on the site, the building, at the highest point, when measured from the lowest point of existing grade, totals 39'2". As detailed on the drawings in the packet, the height of the various building components varies.

- The one story element is 19 feet.
- The two story element is 30'-10".
- The northeast corner of the three story element is 39'-2".
- The center parapet wall which screens the air conditioner units for the second and third floor and the elevator over run is 39'-2".
- The southwest corner of the three story element is 36'-6".

The permitted height in the GR-3 zoning district is 35 feet. The building is designed to relate to the taller condominium buildings while at the same time, step down to some extent in deference to the single family homes to the east.

#### **Standard 2 – Proportion of Front Façade.**

This standard is met. The proportions of the front façade reflect a residential scale through the use of recessed and projecting bays, and elements such as porches and dormers.

#### **Standard 3 – Proportion of Openings.**

This standard is met. French doors and double hung windows are proposed around the building and follow a regular pattern and are aligned between levels around all elevations. Doors with sidelights and transoms are proposed on the west elevation which appear appropriate for the front entries.

#### **Standard 4 – Rhythm of Solids to Voids.**

This standard is met. There is generally a consistent rhythm of solids to voids around the building. The screen porches on the north and south ends of the building present a more open appearance and break up the appearance of mass of the building.

#### **Standard 5 – Spacing on the Street.**

This standard is met. The proposed building is set back from Westminster consistent with the spacing of the single family homes along the streetscape.

#### **Standard 6 – Rhythm of Entrance Porches.**

This standard is met. The front entries along the west elevation help to reinforce the residential appearance of the building and bring a human scale to the design.

**Standard 7 – Relationship of Materials and Texture.**

This standard is met. The exterior is comprised of high quality and natural materials. Brick is proposed for the primary façade material, limestone is proposed for the bay windows and dormers. Limestone is also proposed for the door and window trim and porch columns. Wood shingle is proposed for the mansard roof. A stone cap is proposed for the parapet wall in the areas of the flat roofs. Wood will be used for the fascia and soffits. Aluminum clad windows with interior and exterior muntins are proposed. The balconies will have metal railings.

**Standard 8 – Roof Shapes.**

This standard is met. The building features a combination of a mansard style roof and flat roofs with a parapet wall. The mansard roof helps to bring a residential appearance to the building and also allows the building to read as a two and a half story structure in some areas rather than a three story structure.

**Standard 9 – Walls of Continuity.**

This standard is generally met. The massing, scale, and architectural detailing are generally consistent on all elevations of the building. The massing on the north side is somewhat different than the other elevations in order to relate more closely to the Westminster streetscape.

**Standard 10 – Scale.**

This standard is met. The property is in a transitional area and the scale of the building attempts to relate to the scale of both the condominium buildings on the west side and the residential area to the east. The proposed building steps down on the north end to provide a visual transition to the smaller scale homes along Westminster. The east elevation, which faces the residential area, features offsets in the wall-plane which help to create more residential type proportions along the facade.

**Standard 11 – Directional Expression of Front Elevation.**

This standard is met. Although the front elevation is long, the directional expression appears more vertical due to the proportions of the openings, the three story bays that project from the main mass of the building, and the bay windows that extend from the first to the third floor.

**Standard 12 – Preservation of Historic Material.**

This standard is not applicable to this request.

**Standard 13 – Protection of Natural Resources.**

This standard is met. Currently, only one tree remains on the site. The tree is proposed for removal. The preliminary landscape plan submitted by the petitioner reflects a number of proposed plantings on the property including Arborvitae, Hawthorn and Hornbeam trees along the east property line and Linden trees along the south property line. Honey Locust and Redbud trees and a variety of shrubs and ornamental plantings are also proposed at the front of the building along the street and on the north side of the building. In addition, the developer is in discussions with the adjacent property owners to the east about plantings that may be added to their property at the developer's cost.

**Standard 14 – Compatibility.**

This standard is generally met. The transitional nature of the site requires some balance between the higher density area to the west of the site and with the single family residential area to the east. The design of the building is articulated to respond to the transitional nature of the site. As noted above,

the building incorporates residential and human scale elements such as the front entries, the screen porches and dormers. The building also relates to the existing condominium buildings in the development by using a similar fenestration pattern and matching materials.

**Standard 15 – Repair to deteriorated features.**

This standard is not applicable to this request.

**Standard 16 – Surface cleaning.**

This standard is not applicable to this request.

**Standard 17 – Integrity of historic property.**

This standard is not applicable to this request.

**PUBLIC COMMENT**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations. To date a significant amount of public testimony has been presented to the Plan Commission on this petition. As of the date of this writing, staff has not received any written public comment for the upcoming public meeting.

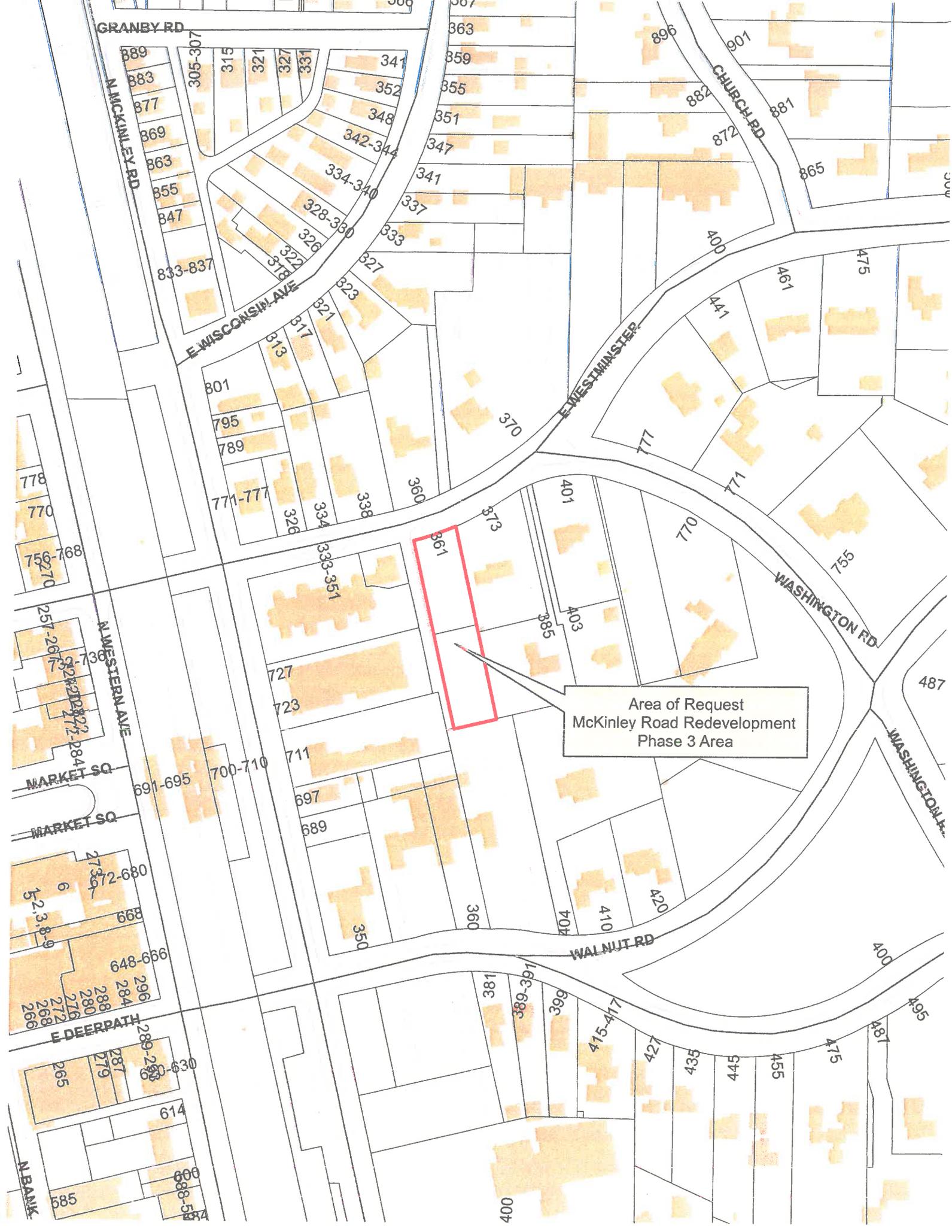
**RECOMMENDATION**

Grant a Certificate of Appropriateness for a new condominium building and the landscape and hardscape plan subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. If any modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be submitted at the time of submission for permit, along with the plans originally presented to the Commission, and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
2. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. No exterior lighting is permitted on the east elevation of the building.
3. All mechanical equipment, on the roof and on the ground, shall be fully screened from view from off of the site.
4. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the adjacent buildings, neighborhood, and streets during construction. On street parking of construction vehicles or contractors is not permitted. It may be necessary for contractors to park off site, in employee parking lots, to avoid congestion on and near the site.
5. Prior to City Council approval of the development, a final overall landscape and hardscape plan, drawn in accordance with the approved grading and drainage plan, and

shall be submitted and will be subject to final review and approval by the City Arborist. The Arborist shall verify the following:

- a. Sufficient foundation plantings are provided to establish a residential character, pedestrian friendly building entrances and to create privacy for first floor residents.
  - b. Plantings shall be consistent in character and density with the plantings for the phase one and two buildings.
6. Prior to the issuance of a Certificate of Occupancy for the building, all landscaping shall be planted consistent with the approved plan or, if planting is not possible due to the time of year, a cash bond in the amount of 110% of the cost of the materials and labor must be posted to assure planting consistent with the approved plant in the next planting season.
  7. In addition to number six above, prior to the issuance of a Certificate of Occupancy Permit, a landscape maintenance bond shall be submitted to the City in the amount of 10% of the total cost of the landscaping, materials and labor, to assure replacement of trees or vegetation that dies, becomes diseased or fails to thrive during the initial five year maintenance period. The City Arborist shall inspect the plantings each spring and fall for a period of five years after the issuance of a Certificate of Occupancy Permit. (The bond shall be replenished if it is drawn down prior to the end of the five year period.)



Area of Request  
McKinley Road Redevelopment  
Phase 3 Area

GRANBY RD

N MCKINLEY RD

CHURCH RD

E WISCONSIN AVE

E WESTMINSTER

WASHINGTON RD

WALNUT RD

MARKET SQ

MARKET SQ

E DEERPETH

N BANK

889  
883  
877  
869  
863  
855  
847  
833-837

305-307  
315  
321  
327  
331  
341  
352  
348  
342-344  
334-340  
328-330  
326  
322  
318  
327  
333

363  
359  
355  
351  
347  
341  
337  
333

896  
901  
882  
872  
400

881  
865

475  
461  
441

778  
770  
756-768  
7270

257-267  
735-736  
732-733  
717-718  
712-713  
707-708  
284

N WESTERN AVE

691-695  
700-710

2739  
272-680  
668

6  
5-2, 3, 8-9

648-666  
296  
284  
288  
280  
276  
268  
266

289-293  
287  
279  
265

614

685

688-689  
684

801  
795  
789  
771-777  
326  
334  
338  
360

323  
321  
317  
313  
326  
334  
338  
360

370  
373  
401  
385  
403

777  
771  
771

755  
487

333-335  
727  
723

711  
697  
689

350  
360  
404

183  
163-683  
663

415-514  
424  
534  
544  
455  
475

400  
487  
495

361



**THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 715 MCKINLEY ROAD

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- East Lake Forest District   
  Green Bay Road District   
  Vine/Oakwood/Green Bay Road District  
 Local Landmark Property or District   
  Other

**PROPERTY OWNER INFORMATION**

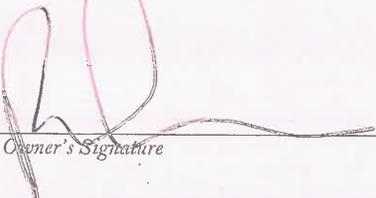
CITY OF LAKE FOREST  
Owner of Property

220 E. DEERPATH  
Owner's Street Address (may be different from project address)

LAKE FOREST, IL  
City, State and Zip Code

Phone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

Email Address \_\_\_\_\_

  
Owner's Signature

**ARCHITECT/BUILDER INFORMATION**

PETER WITMER  
Name and Title of Person Presenting Project

WITMER & ASSOC  
Name of Firm

1000 N. MCKINLEY  
Street Address

LAKE FOREST, IL  
City, State and Zip Code

847 205-5240  
Phone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

PWITMER@WITMERANPASSOC.COM  
Email Address

  
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report     OWNER     REPRESENTATIVE

Please fax a copy of the staff report     OWNER     REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department     OWNER     REPRESENTATIVE

# 715 MCKINLEY

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## LAKE FOREST

January 21, 2020

Statement of Intent

Historic Preservation Commission

715 McKinley

The overall master plan for the McKinley Development was approved by the city council in 2016 and this is the final phase of that plan. Phase 3 was presented to the planning commission in the September meeting and that plan was to have two buildings as indicated on the master plan. It was suggested that the mass of the Westminster building be reduced and was approved to move forward to the Historic Preservation Commission. We went back to the planning commission in the November and December meetings to refine the massing to arrive at what we are presenting to the HPC January meeting. This made one building and created the open space at both the north and south sides of the building. The drive entrance was reviewed in numerous locations and the north end with a terrace over it was the final conclusion.

All the units will be totally customer designed for each buyer.

### **Building massing**

The 715 building steps down from the prior phase 1 and 2, 727/723 and 705 buildings to the west. First floor elevation is approximately 3' lower and the building picks up similar detailing but caps the brick portion of the building at 2 stories and then has a shingle roof for the third story living space. The West elevations is developed to appear as townhomes. There are entries into the lobbies and also entries into the first floor units along the west elevation. The bays along the west elevation help the enhance the Row house motif. We feel that this solution is appropriate as the phase 1 and 2 buildings are a reflection of the commercial area facing market sq and the Deerpath and Western ave streetscape and this will transition to the single family to the east.

### **Building elevations details**

The 715 building elevations developed from the relationship of the first two buildings and its surrounding site conditions. The south end of the west elevation is designed to be a coherent end to the entrance axis of the east-west entrance street. The porches and balconies relate to the balconies on the west elevations of the existing buildings. The materials used for the elevations will be the same "kit of parts" as the first builds with the

addition of wood shingles for the mansard roofing on the third building. The detailing picks up brick coining at the corners and bays, stone heads, sills at the windows metal railings are a few of the examples. The west elevations is broken down into townhouse scaled parts. Front door entrances into the first floor units and front doors into the two lobbies and stairwells help the massing to appear to be six single town homes. The addition of arched dormers related to this scale. Recess front door entries, Projecting stone bays, sloping mansard roofs give the elevation movement so not to appear as one large mass. The short south elevation of the south has a symmetrical design with the center section that slightly protrudes. The scale is reduced by the third floor roof element. The East elevation is broken down into to two parts by the recessed outdoor area in the middle of the elevation. Mansard roofs hide the second and third story outdoor terraces from the Westminster elevation. The third floor roofing material of the east elevation further reduces the scale of the brick elevation. The detail of the slight protruding bays into six pieces. Each of these pieces have a symmetry on the window locations and a variation of center bays with flanking double-hung windows. The underground parking door is at a lower level so that the visibility of the door is minimal from the street. Landscape at the street edge and then lawn and additional landscape at the garage ramp give a layering so that the open space of the front yard can be enjoyed from both traveling east and west on Westminster.

#### **Height, Size and Number of Units:**

The project will have as many as 7 units total this is well below the contract allowable of 15 units. The units will vary in size from approx 3,250 sq.ft. - 1,900 sq.ft. The 715 McKinley building height is 38' at the south west corner. The overall height is need to achieve all the structural, mechanical, plumbing, and sprinkler system required and have a min 9' ceiling under the soffits in the units.

#### **Parking:**

The project will provide underground parking for each unit. Guest parking will be provide by the existing 9 parallel spaces, 3 spaces of of the north-south drive and three additional spaces at the entrance to the ramp.

#### **Standards**

**1. Height** - The building height is 38'. This is lower by 2' from the existing phase one and Phase 2 buildings. It is also lower on grade by 3' from the floor elevations. The building steps down at the north to provide a third floor terrace and then to a porch extension to the north which has a second floor outside space above and a porch on the first floor.

**2. Proportion of Front Facade-** The west elevation is broken down in scale to single homes. The north elevation scale is similar width to the single family homes along Westminster and has the porch element and roof terrace to articulate the elevation.

**3. Proportion of Openings-** The elevations have typical brick masonry scale and proportion window and door openings.

**4. Rhythm and solid and voids-** The elevations achieve this by movement in and out on the elevations. The East elevation is broken into masses by the void space which creates terraces on the first and second floor. The masses are again reduced by movement in the wall and roof pieces.

**5. Spacing on the street-** This is achieved by two ways the east elevation relates to the first two phase of the project and the Westminster elevation is void space by being back 100' set-back and then similar width to the single family houses.

**6. Rhythm of entrance porches-** We have entries on the north, south and west elevations. These give an overall scale to the elevations.

**7. Relationship of Materials and textures-** The use of Brick, Stone and wood shingles and its traditional detailing give the design variation in material and texture.

**8. Roof Shapes-** The roof has mansard features with dormers on the east and west elevation so that the scale of brick wall is two story with a roof on the third floor. The west elevation has bays that extend three stories to give the desired Row house look.

**9. Walls of Continuity-** The elevations and massing is continues around all four elevations and reacts to the context of the unique context of each elevation.

**10. Scale-** The building is in scale to the context of the multi family context and civic buildings. It relates to the residential scale by stepping down to a lower level at those elevations.

**11. Directional Expression of Front Elevation-** The West Elevation at the south end has a strong axis which is terminated by the porch and terrace elements on the building. The rest of the west elevation is expressed by the numerous front doors that go into the lobbies or first floor homes.

**12. Preservation of Historic Material-** This is not applicable.

**13. Protection of Natural Resources-** The site has on tree that will be removed and the landscape plan indicates numerous replacements.

**14. Compatibility-** This location is a transition between the CBD of Lake Forest and Residential single family homes. The massing relates with allowing for open space on both the North and South side of the building. The building steps down from the other two existing buildings in the development.

**15. Repair of Deteriorating Features-** This is not applicable

**16. Surface Cleaning-** This is not applicable

**17 Integrity of Historic Property-** This is not applicable



THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other \_\_\_\_\_

Color and/or Type of Material \_\_\_\_\_

**Foundation Material**

Exposed Foundation Material \_\_\_\_\_  
\_\_\_\_\_

**Window Treatment**

**Primary Window Type**

- Double Hung
- Casement
- Sliding
- Other \_\_\_\_\_

**Finish and Color of Windows**

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other \_\_\_\_\_

Color of Finish BLACK

**Window Muntins**

- Not Provided
- True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Window Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood
- Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

**Chimney Material**

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- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

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**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Other \_\_\_\_\_
- Sheet Metal

Color of Material NATURAL

**Gutters and Downspouts**

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- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

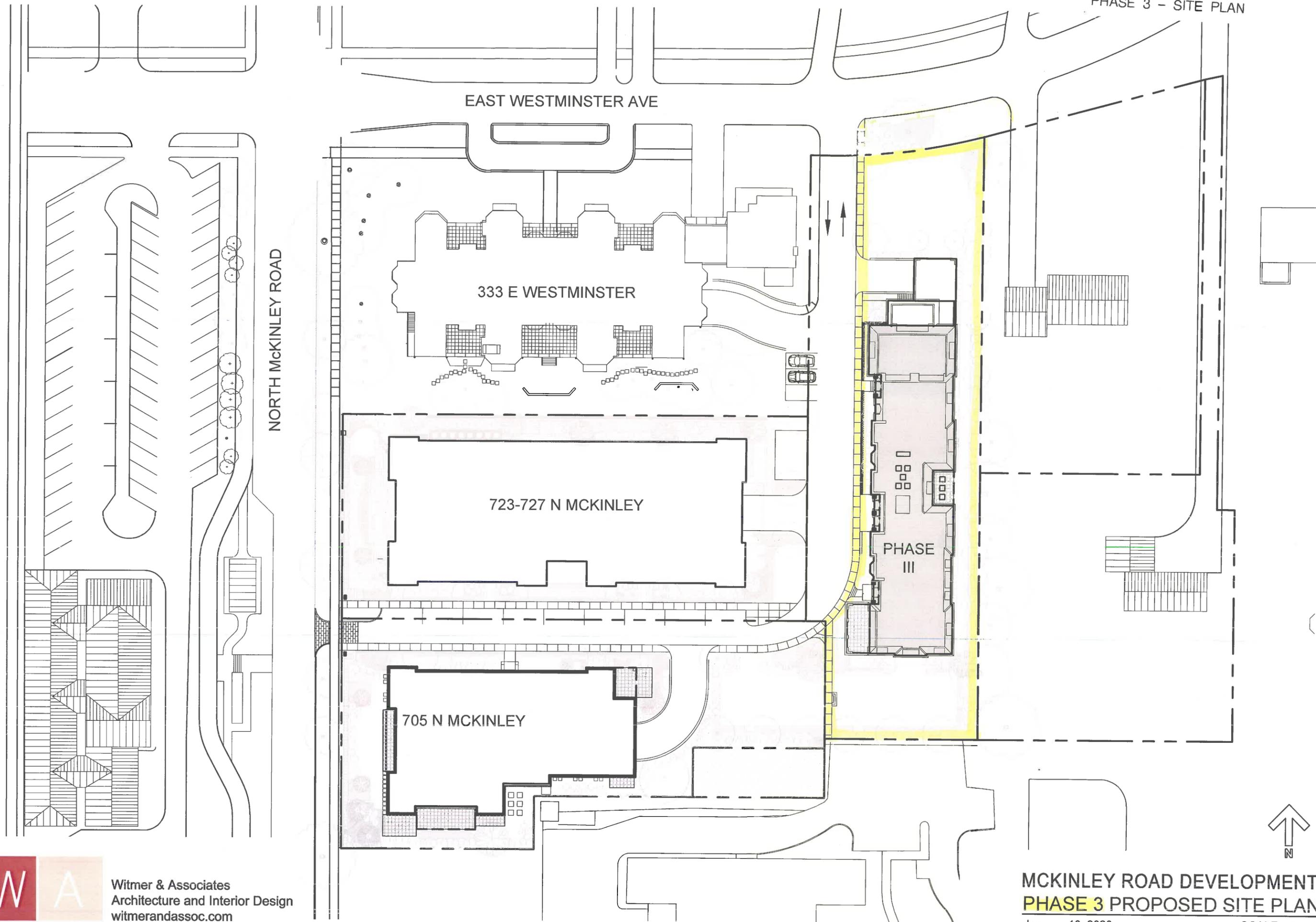
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- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

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- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

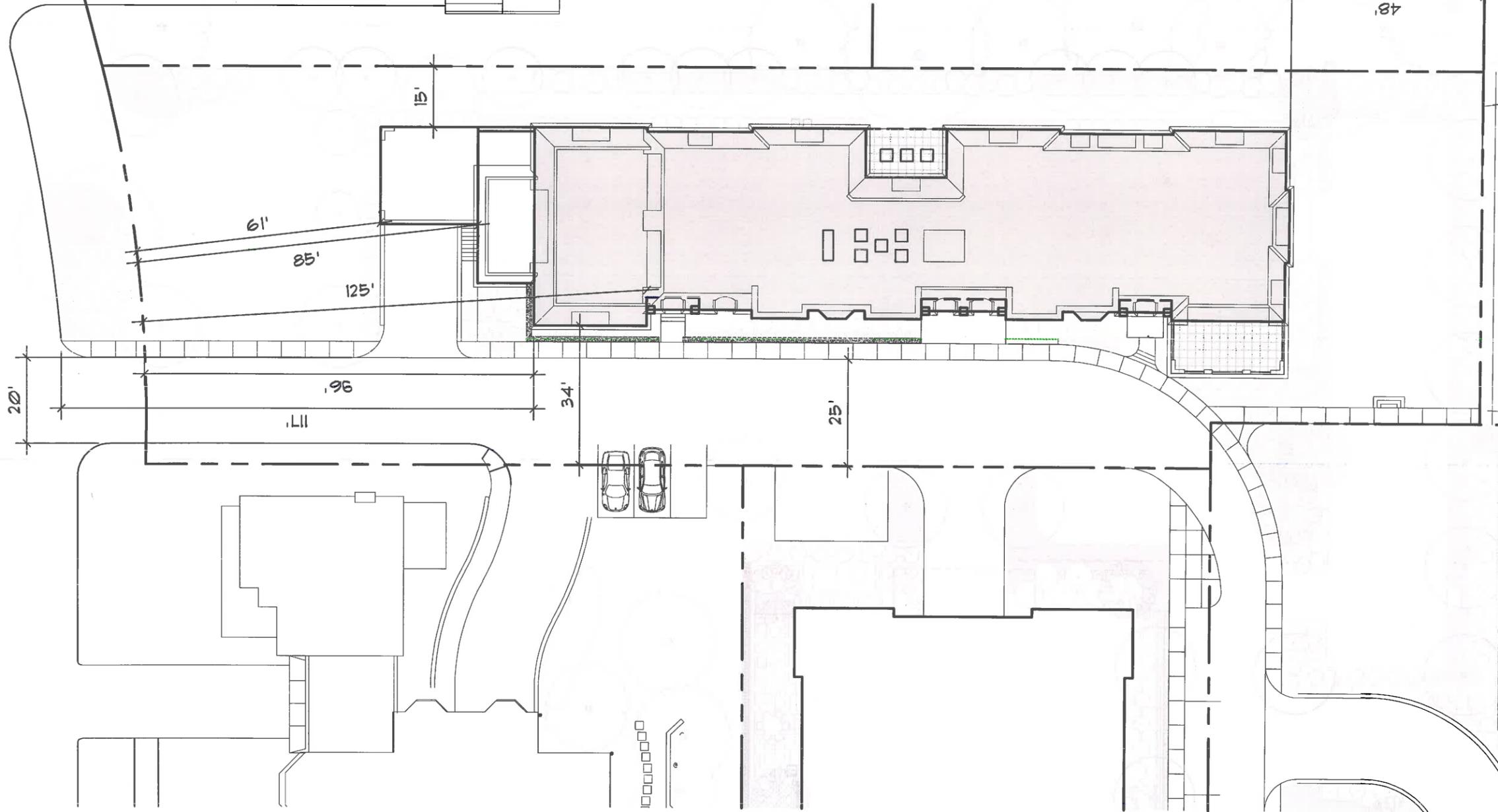


Witmer & Associates  
 Architecture and Interior Design  
 witmerandassoc.com

**MCKINLEY ROAD DEVELOPMENT**  
**PHASE 3 PROPOSED SITE PLAN**

January 13, 2020

SCALE: 1"= 50'





WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTHWEST CORNER



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Architecture and Interior Design  
witmerandassoc.com

715 MCKINLEY ROAD  
BIRD'S EYE VIEW

January 13, 2020 SCALE N.T.S.

- T/ ROOF  
+136'-6"
- T/ THIRD FLOOR  
+124'-0"
- T/ SECOND FLOOR  
+112'-0"
- T/ FIRST FLOOR  
+100'-0"
- T/ BASEMENT FLOOR  
+90'-6"



**NORTH ELEVATION**

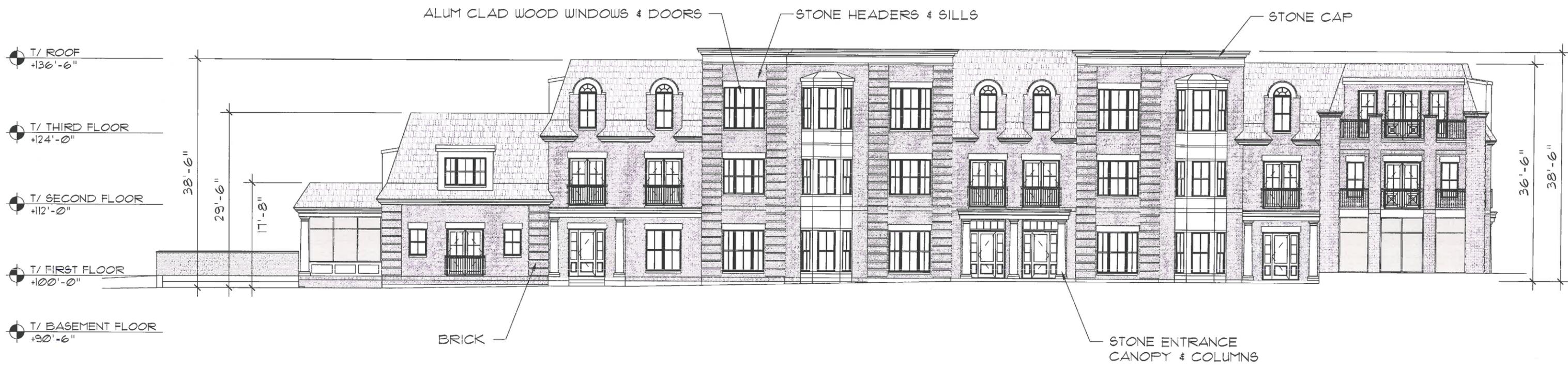


- STONE CAP
- STONE BAND
- METAL RAILINGS
- BRICK
- ALUM CLAD WOOD WINDOWS & DOORS
- STONE HEADERS & SILLS

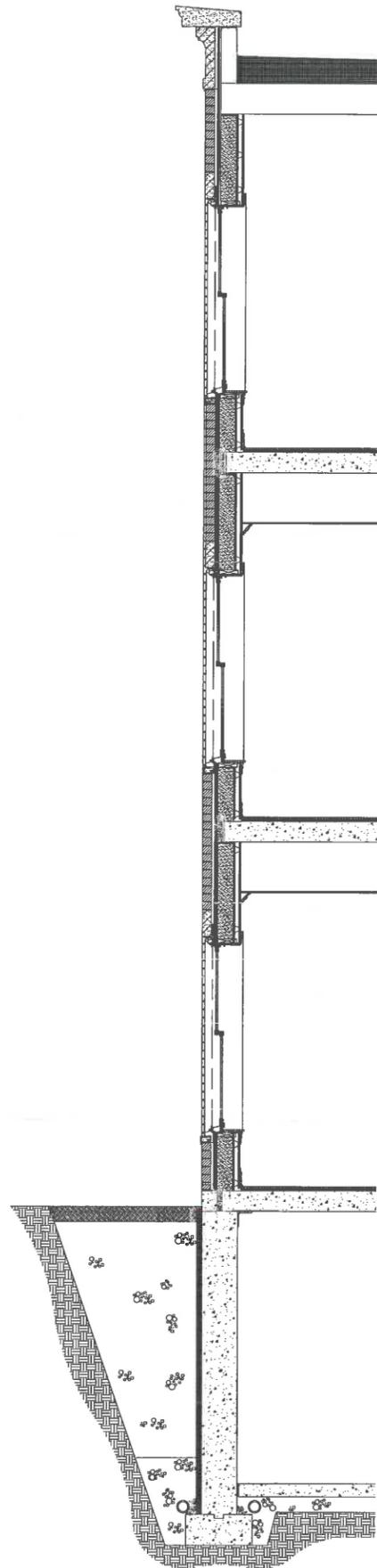
**SOUTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**



T/ PARAPET  
+138'-6"

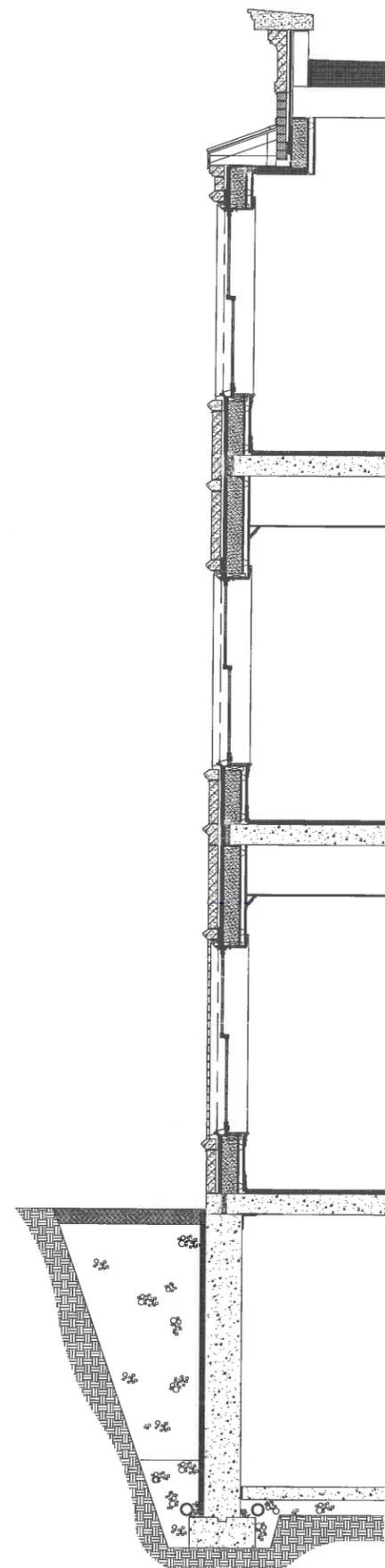
T/ ROOF  
+136'-6"

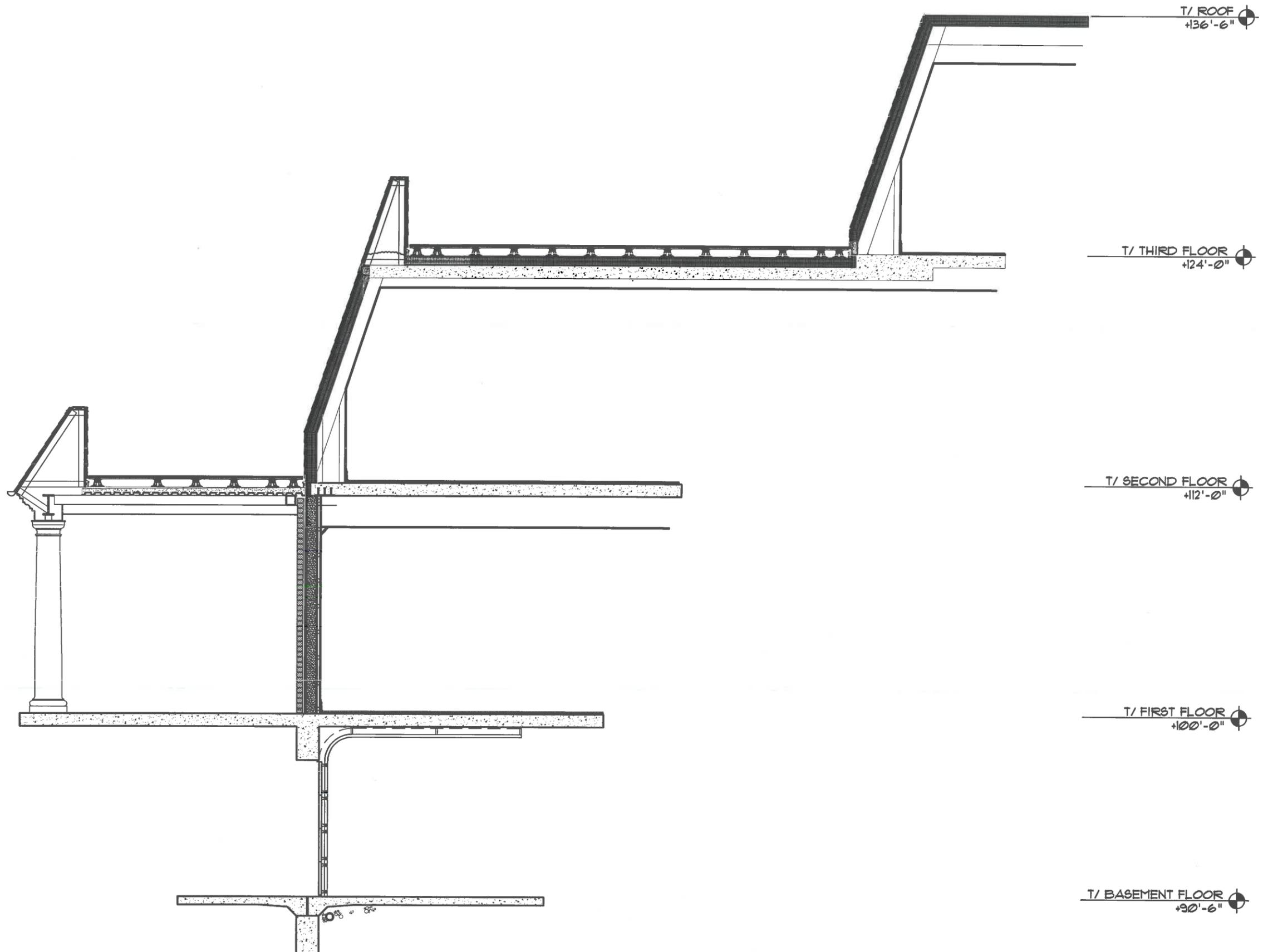
T/ THIRD FLOOR  
+124'-0"

T/ SECOND FLOOR  
+112'-0"

T/ FIRST FLOOR  
+100'-0"

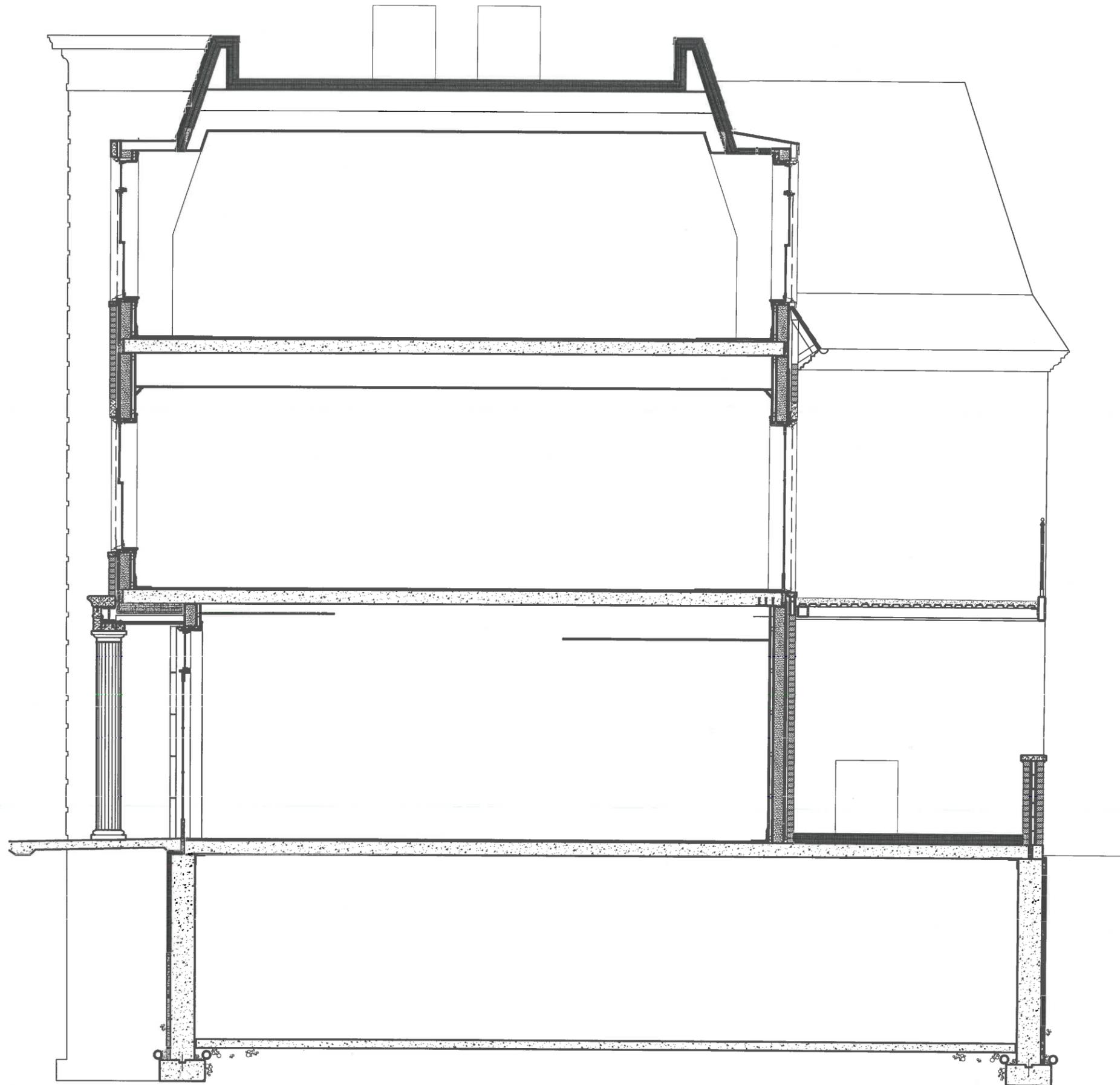
T/ BASEMENT FLOOR  
+90'-6"





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715 MCKINLEY ROAD  
NORTH WALL SECTION  
January 9, 2020 SCALE: N.T.S.



T/ PARAPET  
+138'-6"

T/ ROOF  
+136'-6"

T/ THIRD FLOOR  
+124'-0"

T/ SECOND FLOOR  
+112'-0"

T/ FIRST FLOOR  
+100'-0"

T/ BASEMENT FLOOR  
+90'-6"



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Architecture and Interior Design  
witmerandassoc.com

715 MCKINLEY ROAD  
BUILDING SECTION

January 9, 2020

SCALE: N.T.S.

PHASE 3 BUILDING



333

723-727

715

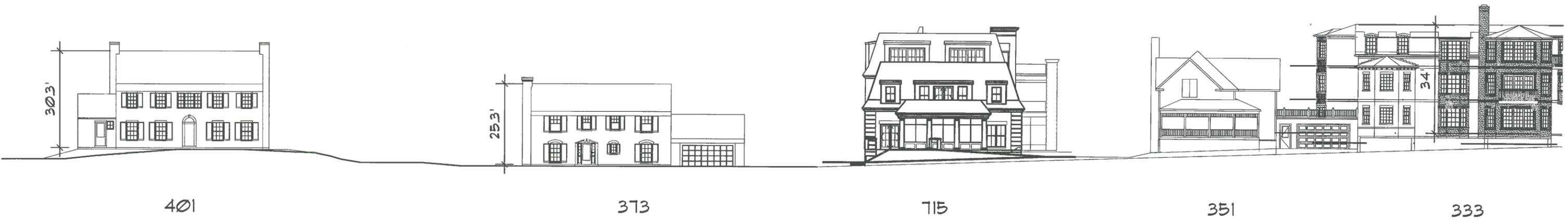
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LIBRARY

CHURCH

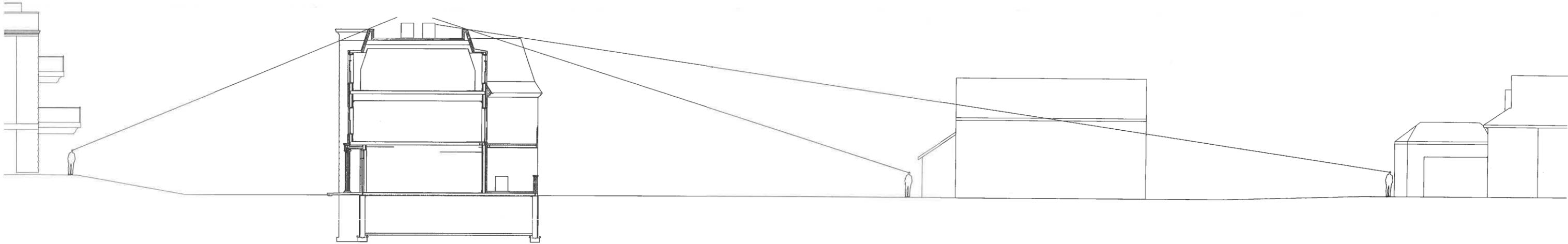


PHASE 3 BUILDING



PHASE 3 BUILDING



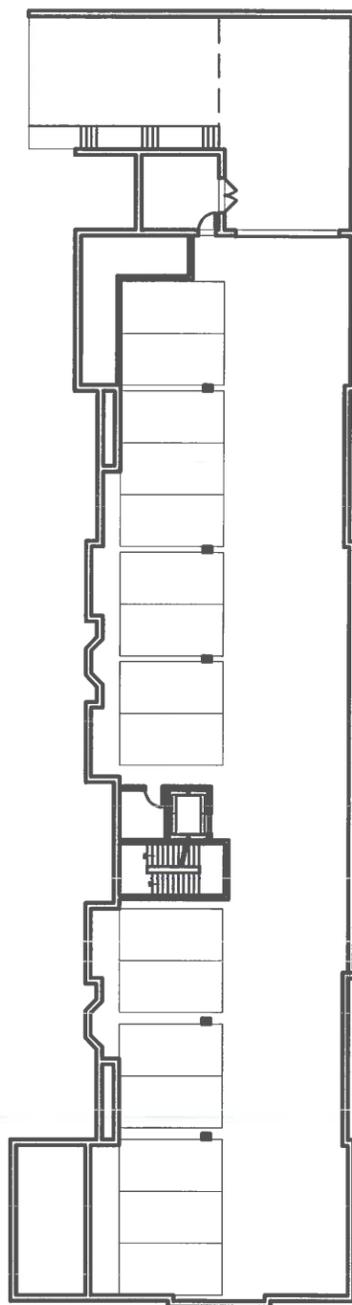


723 MCKINLEY

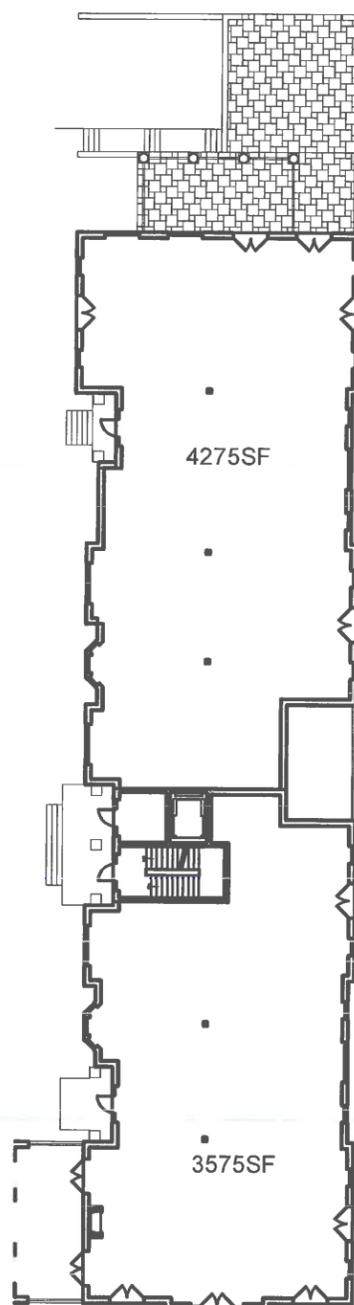
715 MCKINLEY

385 WESTMINSTER

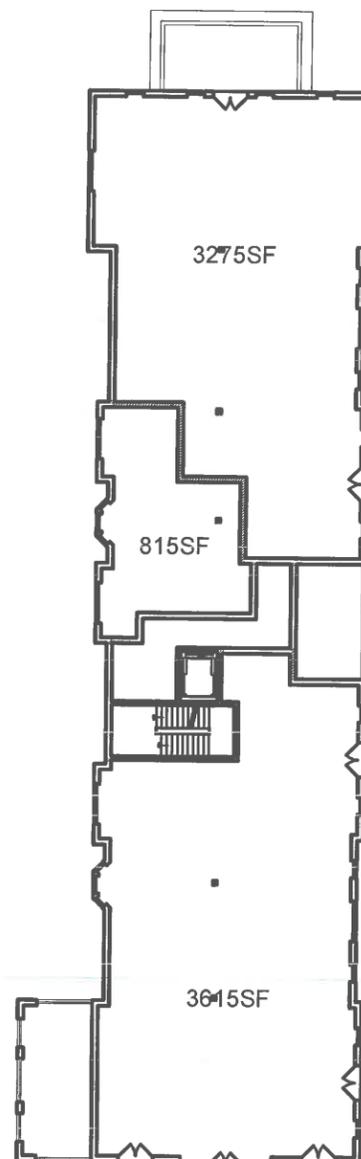
403 WESTMINSTER



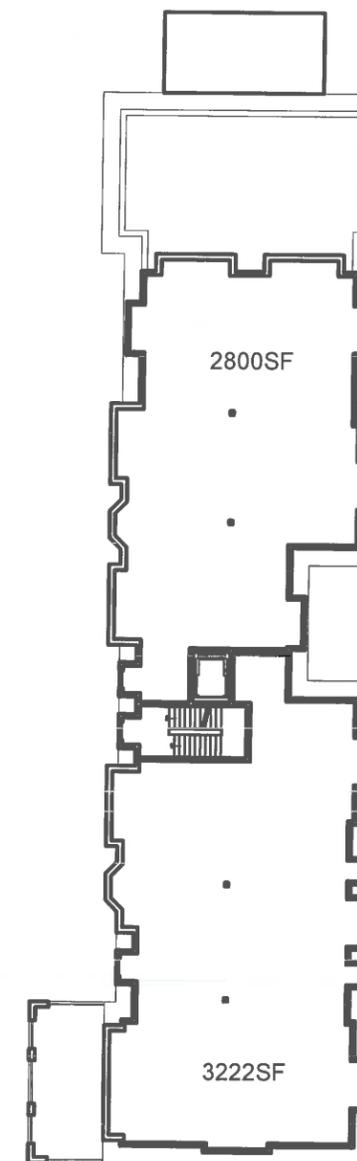
LOWER LEVEL



FIRST FLOOR



SECOND FLOOR



THIRD FLOOR



SOUTHWEST CORNER



SOUTH ELEVATION



WEST ELEVATION



SOUTHWEST CORNER



SOUTH ELEVATION



WEST ELEVATION



ENTRANCE DRIVE



WESTMINSTER RD ENTRANCE



WESTMINSTER RD





ENTRANCE DRIVE



WESTMINSTER RD ENTRANCE



WESTMINSTER RD





NORTHWEST CORNER



NORTH ELEVATION



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715 MCKINLEY ROAD  
RENDERINGS

January 13, 2020 SCALE N.T.S.



NORTHWEST CORNER



NORTH ELEVATION



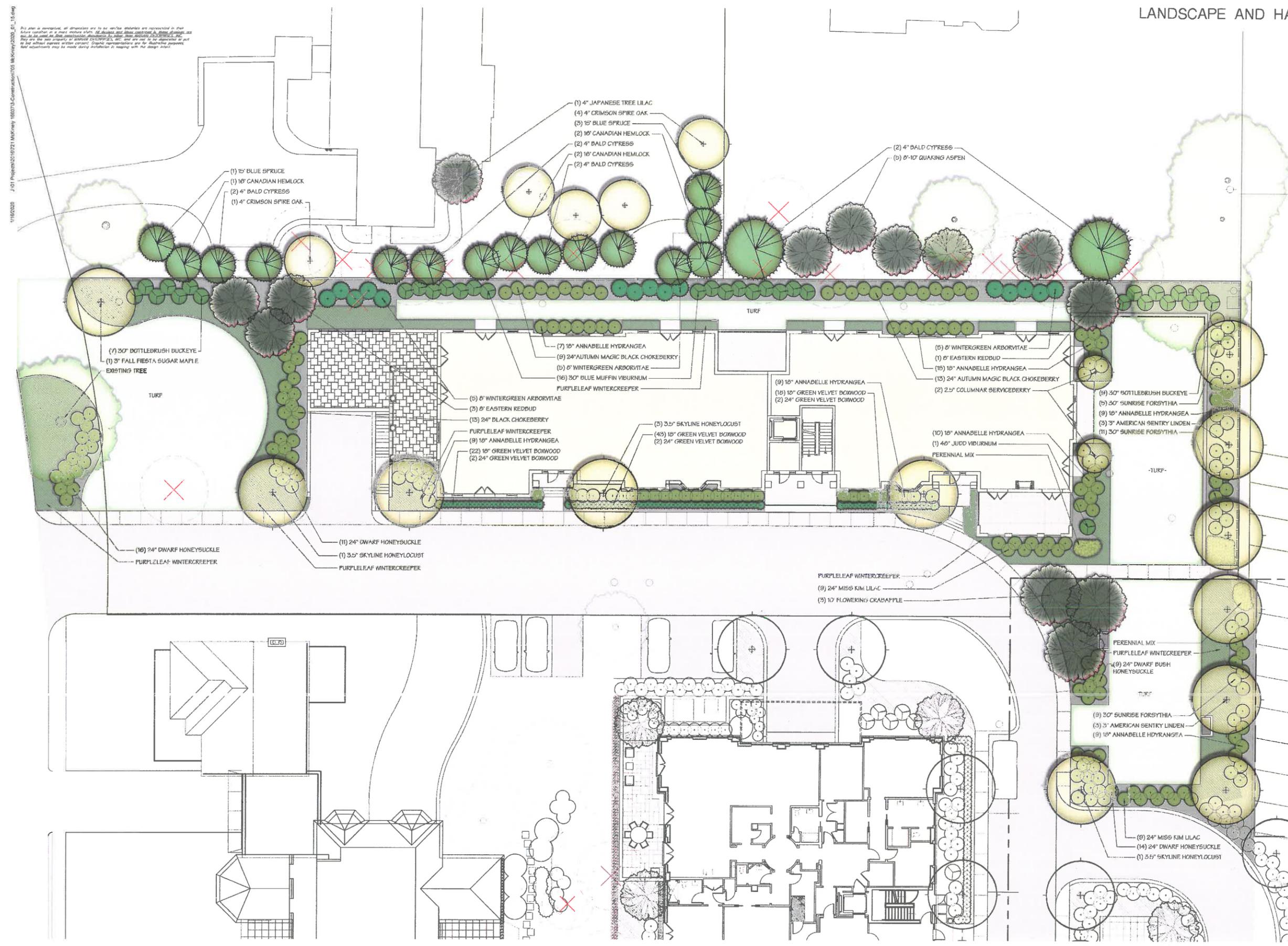
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715 MCKINLEY ROAD  
RENDERINGS  
January 13, 2020 SCALE N.T.S.

300 Rockland Road Lake Bluff, Illinois 60044  
 Phone: 847.234.2172 Fax: 847.234.2754



Project:  
**721 N. MCKINLEY RD.**  
 LAKE FOREST, IL

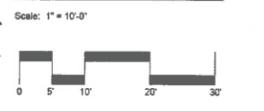


Issued: 02/15/2018

Date:	Description:	By:
01/18/2020	LANDSCAPE PLAN REV	EK
02/15/2018	LANDSCAPE PLAN	MM
08/20/2018	LANDSCAPE PLAN REV	CB
12/07/2018	LANDSCAPE PLAN REV	CB
01/25/2019	LANDSCAPE PLAN REV	CB
10/04/2019	LANDSCAPE PLAN REV	CB
11/07/2019	LANDSCAPE PLAN REV	CB

Designed: CB/SD Approved: CB

Sheet Title:  
**PHASE 3  
 LANDSCAPE PLAN  
 EAST BUILDING**



Sheet No:  
**L-7.3**

Project No: 715 MCKINLEY 16037

